

Attn: City of Seattle

Re: Pre-approved DADU Plans

Thank you for this opportunity to submit this DADU proposal for your consideration as part of your pre-approved DADU program.

We are excited that the City of Seattle is continuing to push the envelope on encouraging the development of diverse housing and neighborhood options and we think that our DADU plan set will be a boon to Seattle residents.

Submission Information Follows

Firm: The Artisans Group, Inc.
Washington State Certified Women Business Enterprise
Architecture & Planning

Contact: Jason Taellious
1508 4th Ave E
Olympia, WA 98506
jason@artisansgroup.com
206.639.7098

Project Title:
Passive House A.D.U.

Project Description:

This is a modern detached accessory dwelling unit fully capable of meeting the rigorous sustainability building science standard, Passive House. Created for lovers of sustainability and contemporary design, this DADU would be at least 70% more energy efficient than a similar code built home, could easily be energy-positive with a few solar panels, would attract strong interest in Seattle's program from the younger demographics and get the sustainability and design worlds talking. For added flexibility we designed this Passive House ADU to be customizable with either a second bedroom (on the ground floor) or a carport.

Designed by a Washington State Certified Women Business Enterprise that's world renowned for sustainable home design and featuring soaring ceilings in the great room and large triple pane windows that bathe the space in natural light, this is a DADU that would provide positive press and make a real difference.

Project Narrative:

Not your granny's flat, this is a high performance DADU that matches Seattle's ascendance on the world's stage and is designed to meet the verifiable Passive House sustainability standard. Clearly outside of traditional neighborhood architecture, this is a modern DADU, an exciting option for contemporary design enthusiasts and people who demand an analytic approach to sustainability.

- Low Cost

As a Passive House building, this DADU has triple pane windows, extra insulation, exterior rigid insulation to prohibit thermal bridges and would be nearly air tight. These make construction more expensive; however, because of its energy efficiency the monthly utility costs for its occupant will be a fraction of a code built home. So the costs are front loaded on construction, but given the expected life of the building this will be far more affordable with the long view in mind, which is precisely the mindset needed for sustainability as well.

- Green Building

Passive House is a rigorous building science that leads to low or no-carbon architecture. If interior selections are made that are similarly sustainable, this is about as green building as you can get.

- Privacy

Window placement in this DADU maximizes neighbor privacy as long as the house is appropriately sited.

- Context

As a contemporary home design this home will fit well in many of Seattle's neighborhoods, particularly with the recent influx of modern design.

- Culturally Responsive

With an open floor plan and minimal overt interior design, this is a home open to resident interpretation and is nearly a blank canvas for cultural adaptability.

- Constructability

As Passive House building science veterans we have full faith in our ability to up-train builders. For builders with Passive House experience, this design is completely straight forward.

Construction Costs:

We expect this DADU to be built by a professional contractor for \$300,000+. This amount does not reflect site development costs which are so variable that providing numbers is nearly meaningless without first analyzing a homeowner's property.

Floor plans: See attached document.

Building sections:

See attached document.

Building elevations:

See attached document.

Three-dimensional views:

See attached document.

Major materials:

2x6 studs, engineered trusses, triple pane windows, rigid insulation, cellulose insulation, gypsum board, cabinetry and cabinet hardware

List of mechanical systems:

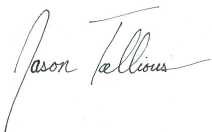
- Ductless mini-split
- Ductless Heat Recovery Ventilation system
- Heat pump water heater

Price for plan:

\$1,000.00

Hourly rate: \$88 per hour for site plan development, \$118 per hour for interior design and permitting, \$148 per hour for energy modeling, sustainability consultation and additional architectural improvements.

With gratitude,



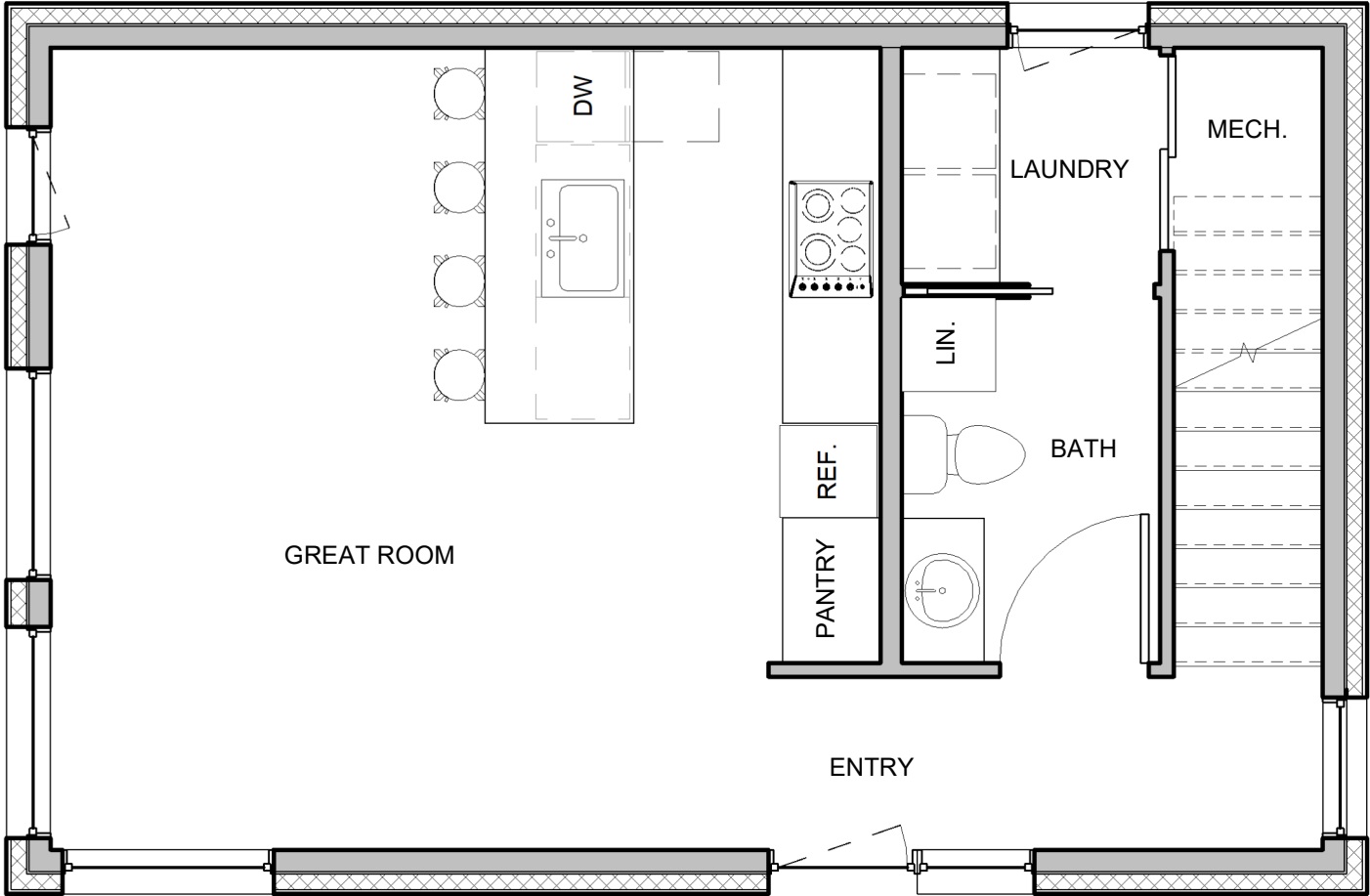
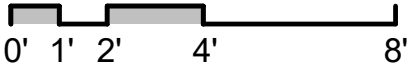
Jason Taellious




1
A001

800 Ground Floor Plan (550 SF)

1/4" = 1'-0"

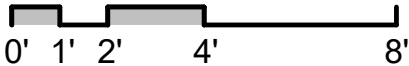
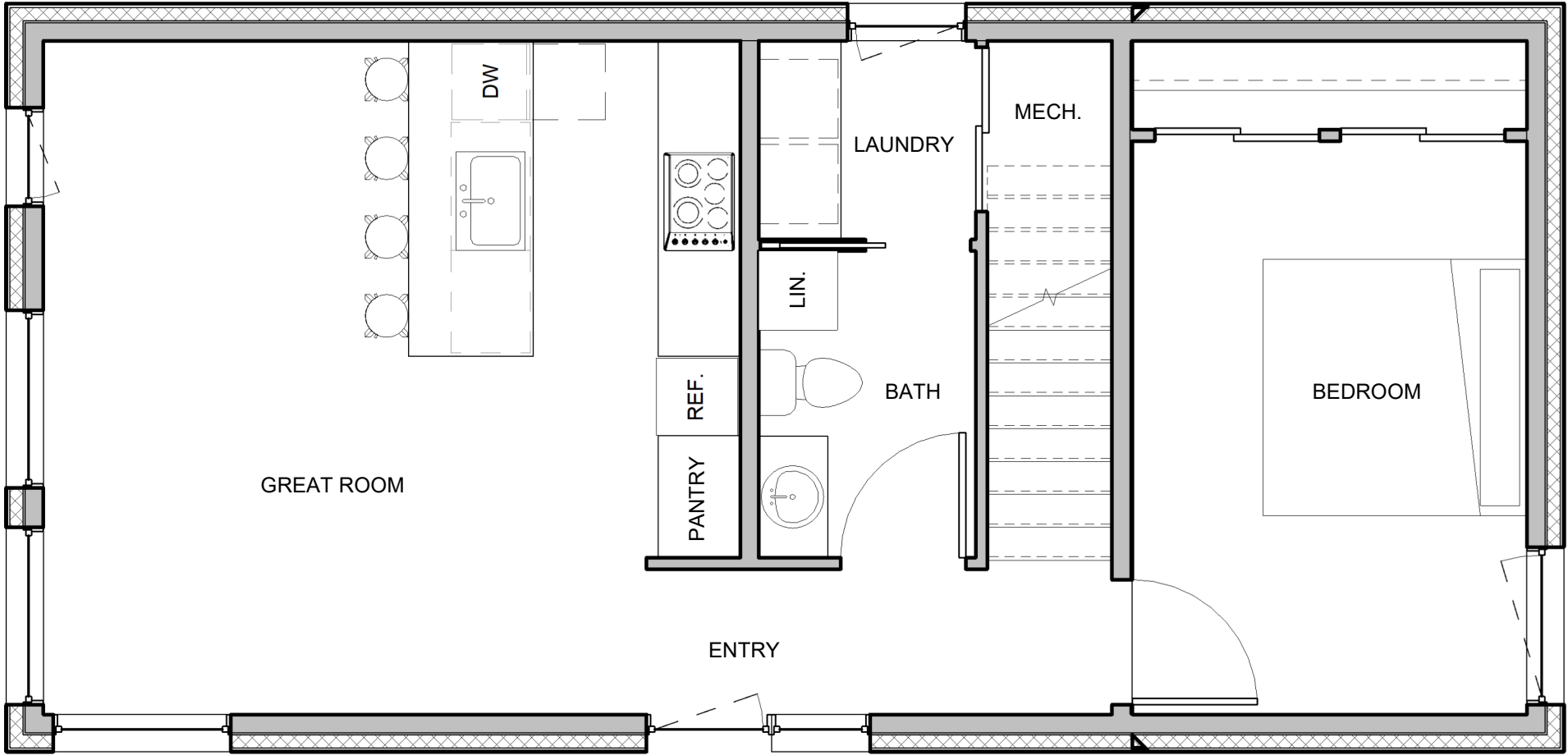


| | | | | |
|---|--|---------------------------------|---|-----------------|
| <div><div></div><div><div>The Artisans Group, Inc.</div><div>1508 Fourth Avenue East Olympia, WA 98506 360.570.0626 (p) 360.570.0727 (f) www.artisansgroup.com</div><div><div>All drawings, details and text contained in these documents are the original and unpublished work of the Artisans Group, Inc. Copyright © 2017</div></div></div></div> | <div>PASSIVE TWO STORY DADU</div> <div>Site Address: 45 Crestway Ct. Appleton, WI 54913</div> <div>Parcel No.: -</div> | <div>800 First Floor Plan</div> | <div>Designed By: TRS, RC</div> <div>Drawn By: LHA, OFM</div> | <div>A001</div> |
|---|--|---------------------------------|---|-----------------|

1
A002

1000 Ground Floor Plan (750 SF)

1/4" = 1'-0"



PASSIVE TWO STORY DADU

Site Address: 45 Crestway Ct. Appleton, WI 54913

Parcel No.: -

1000 First Floor Plan

Designed By: Designer
Drawn By: Author

A002

The Artisans Group, Inc.



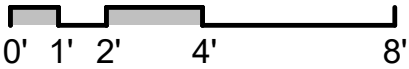
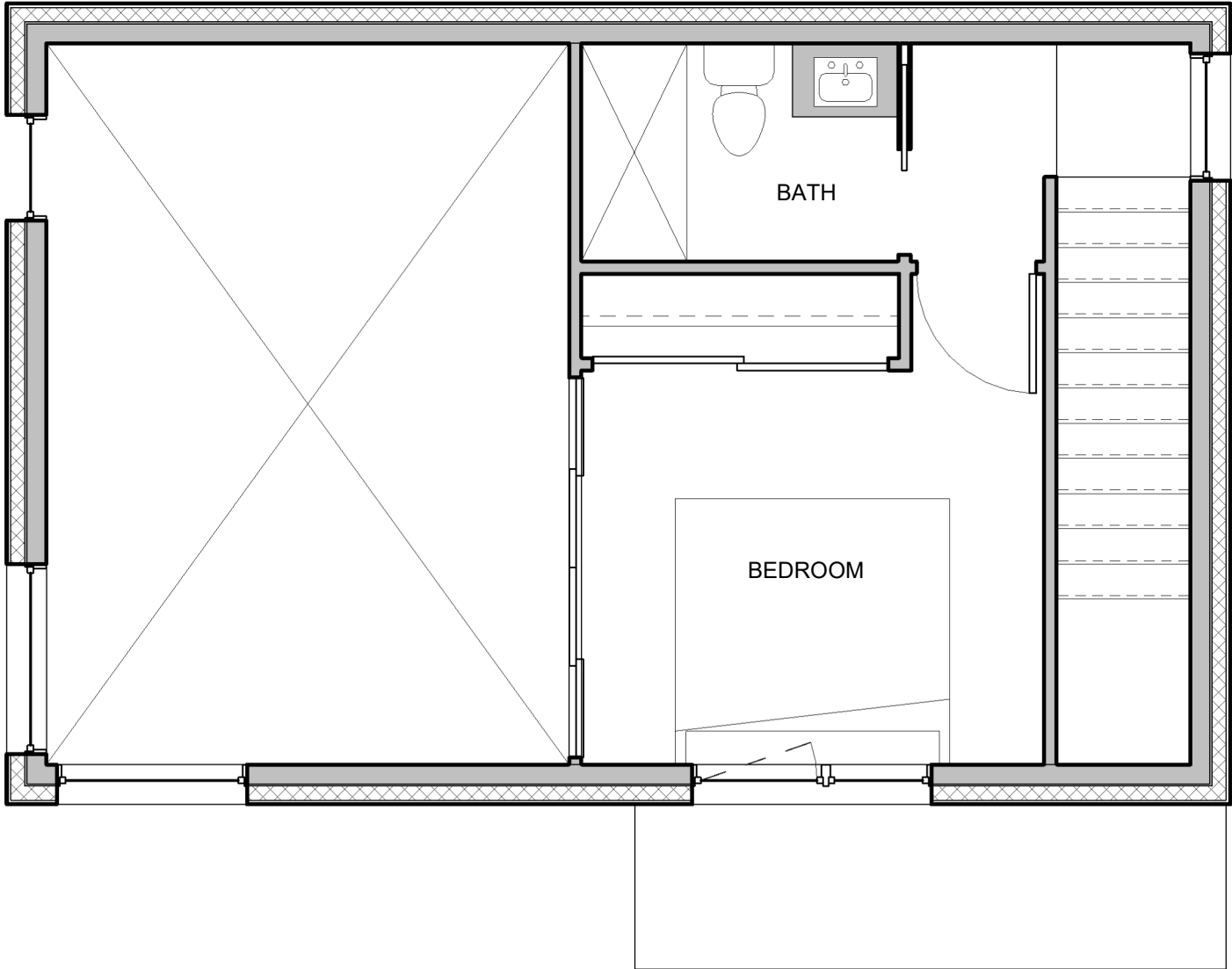
1508 Fourth Avenue East
Olympia, WA 98506
360.570.0626 (p)
360.570.0727 (f)
www.artisansgroup.com

All drawings, details and text contained in these documents are the original and unpublished work of the Artisans Group, Inc. Copyright © 2017

1
A003

Loft Floor Plan (243 SF)

1/4" = 1'-0"



PASSIVE TWO STORY DADU

Site Address: 45 Crestway Ct. Appleton, WI 54913

Parcel No.: -

The Artisans Group, Inc.

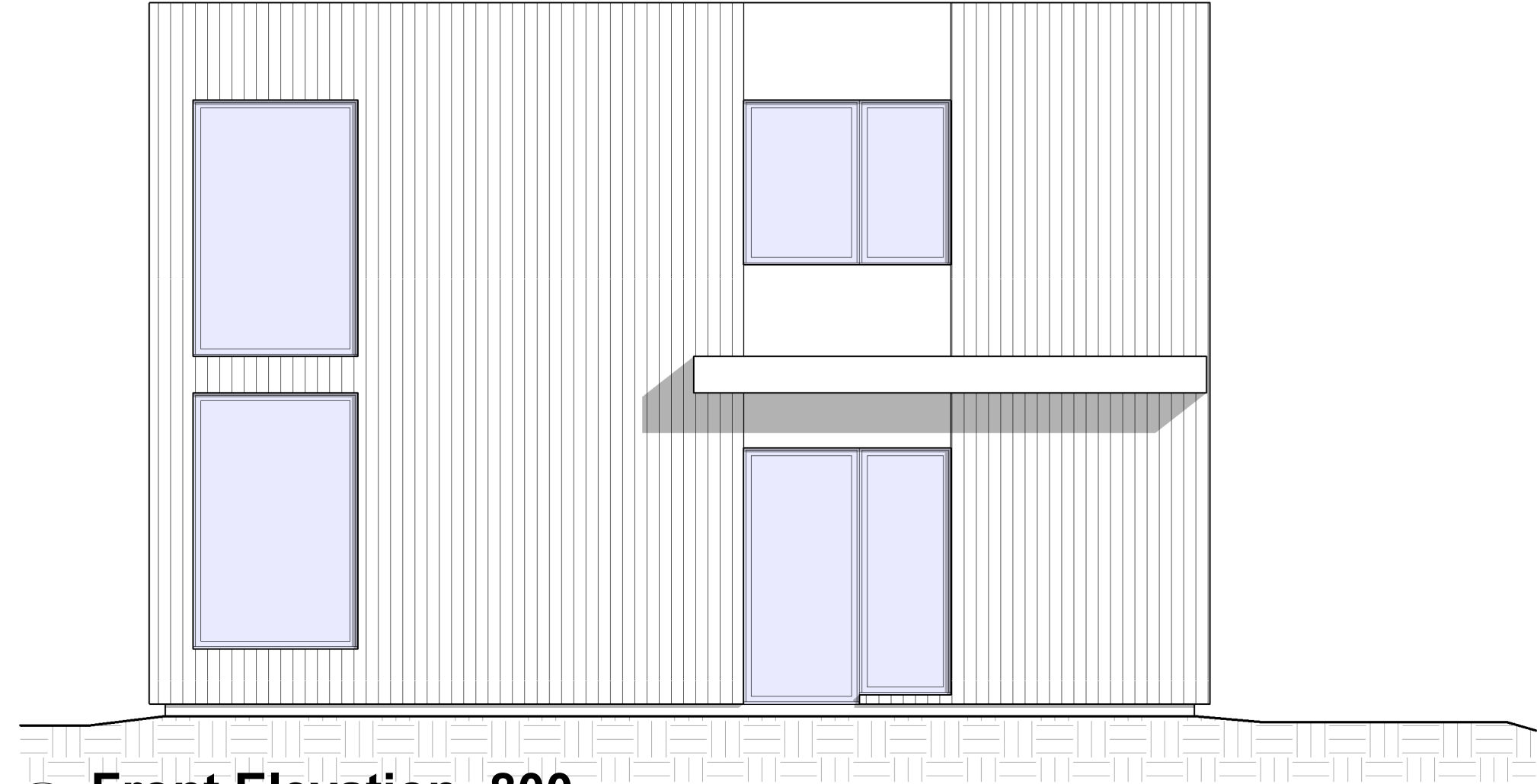
1508 Fourth Avenue East
Olympia, WA 98506
360.570.0626 (p)
360.570.0727 (f)
www.artisansgroup.com
All drawings, details and text contained in these documents are the original and unpublished work of the Artisans Group, Inc. Copyright © 2017

Designed By: TRS RC
Drawn By: LHA,
OFM

A003

Loft Floor Plan



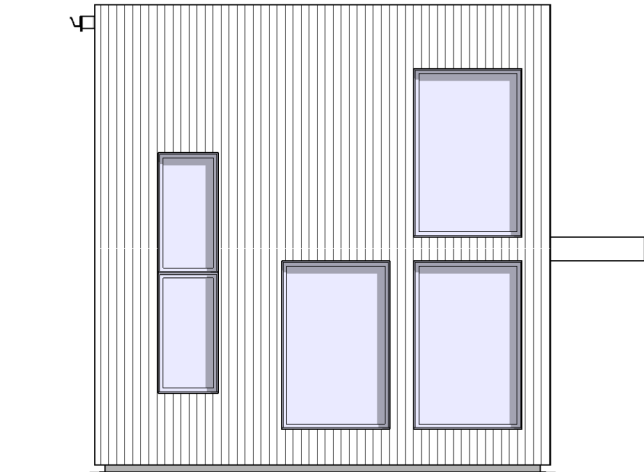


1

A201

Front Elevation- 800

1/4" = 1'-0"

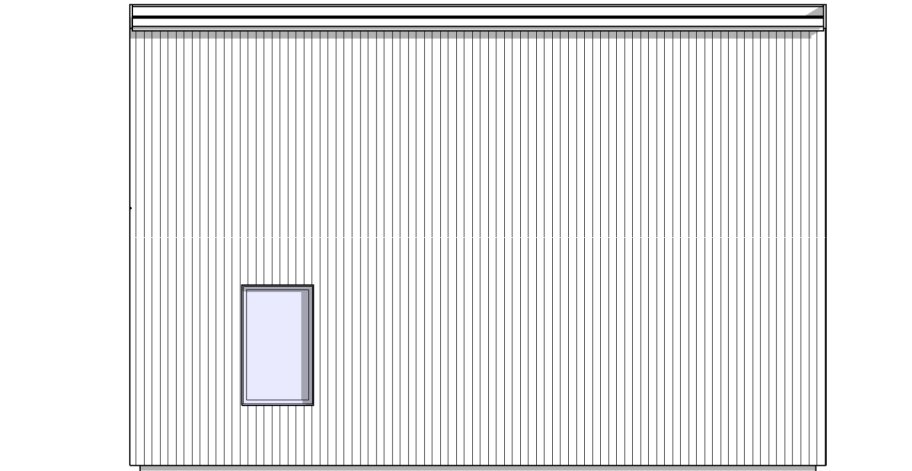


2

A201

Side1 Elevation- 800

1/8" = 1'-0"

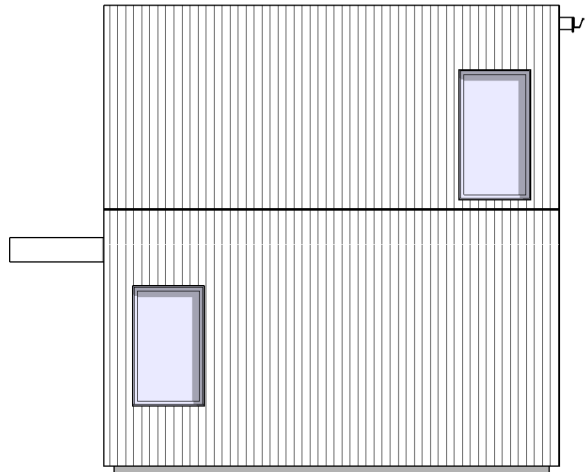


3

A201

Rear Elevation- 800

1/8" = 1'-0"

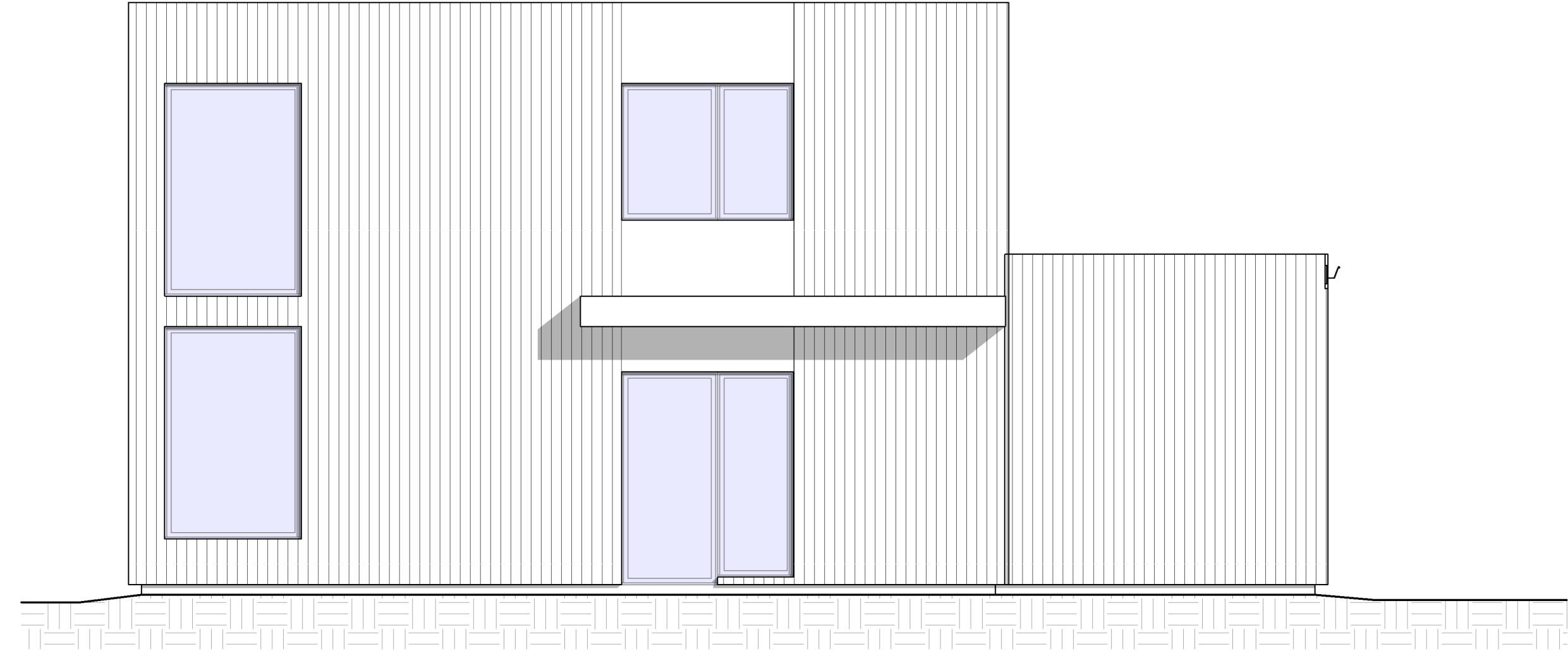


4

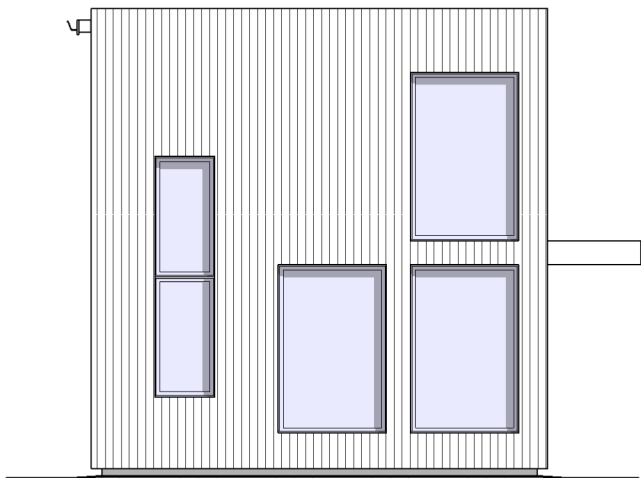
A201

Side2 Elevation- 800

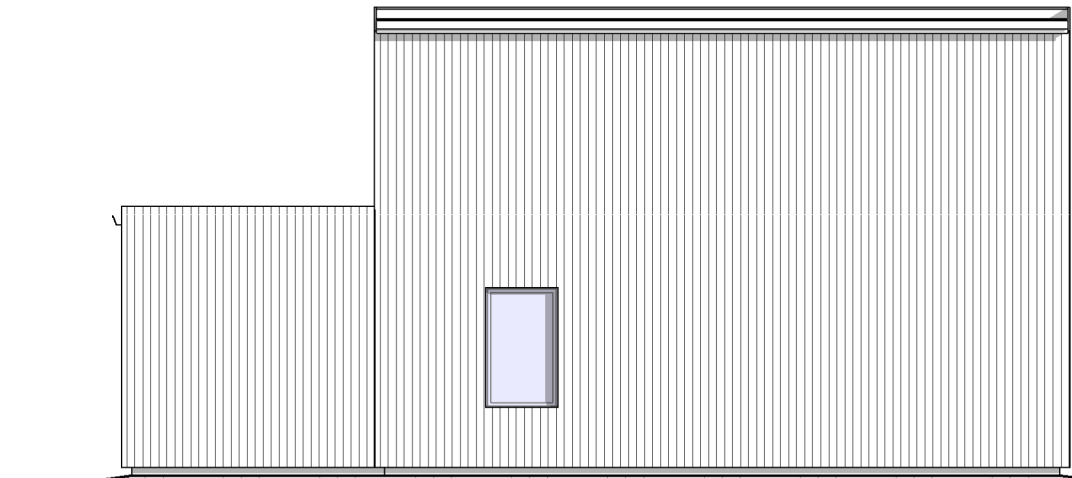
1/8" = 1'-0"



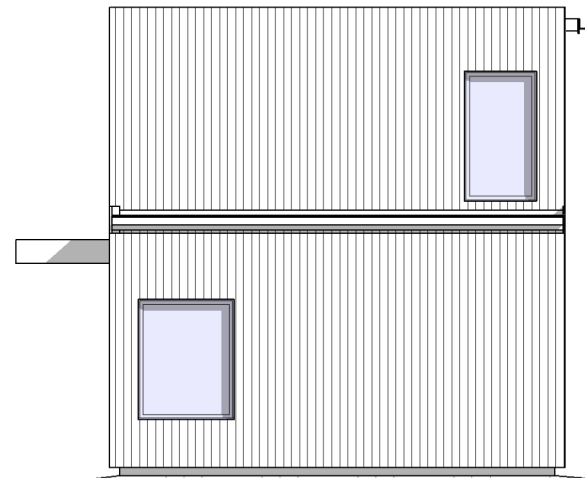
1
A202
Front Elevation-1000
1/4" = 1'-0"



2
A202
Side1 Elevation-1000
1/8" = 1'-0"



3
A202
Rear Elevation-1000
1/8" = 1'-0"



4
A202
Side2 Elevation-1000
1/8" = 1'-0"

2/14/2025 11:36:20 AM



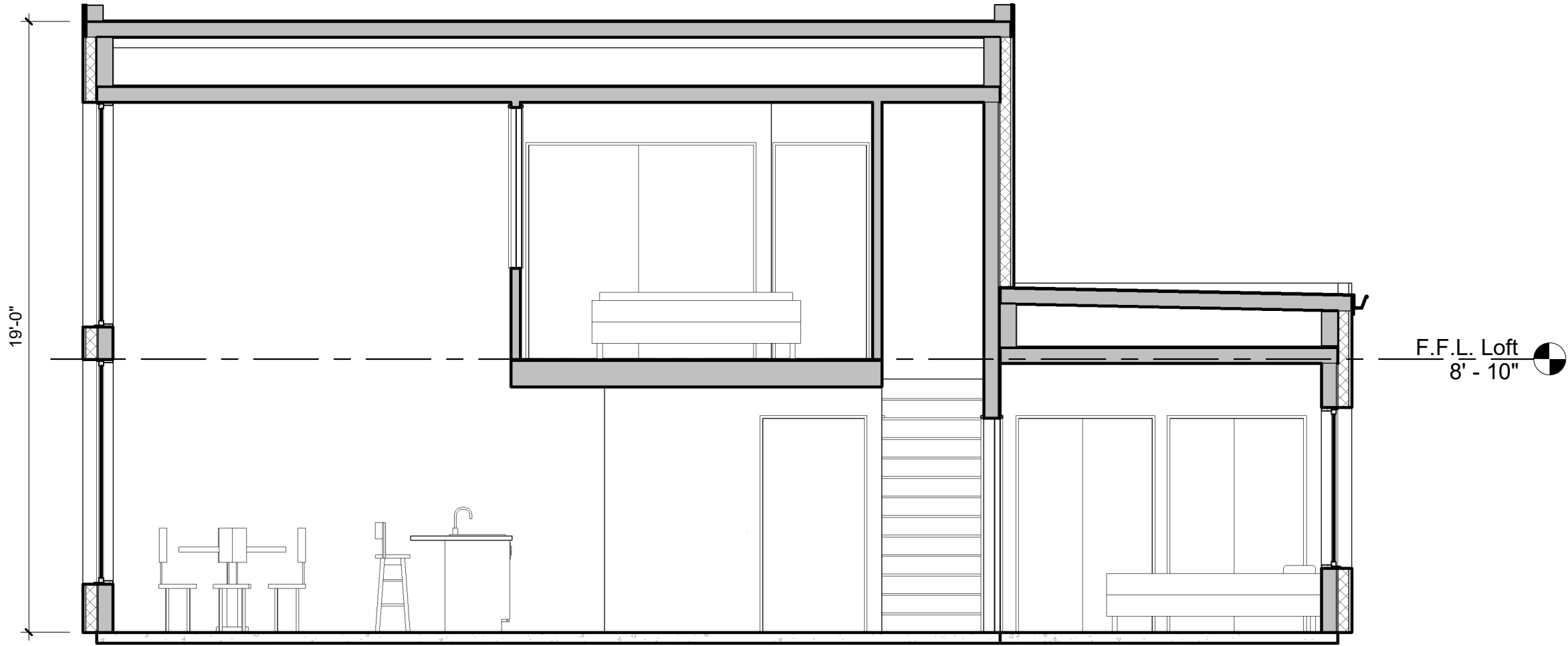
The Artisans Group, Inc.
1508 Fourth Avenue East
Olympia, WA 98506
360.570.0626 (p)
360.570.0727 (f)
www.artisansgroup.com
All drawings, details and text contained in these documents are the original and unpublished work of the Artisans Group, Inc. Copyright © 2017

PASSIVE TWO STORY DADU
Site Address: 45 Crestway Ct. Appleton, WI 54913
Parcel No.: -

1000 Exterior Elevations

Designed By: TRS, RC
Drawn By: OFM, LHA

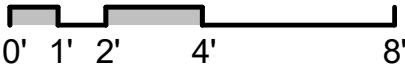
A202



1
A302

Building Section

1/4" = 1'-0"



PASSIVE TWO STORY DADU
Site Address: 45 Crestway Ct. Appleton, WI 54913
Parcel No.: -

Building Section

Designed By: TRS, RC
Drawn By: LHA,
OFM

A302

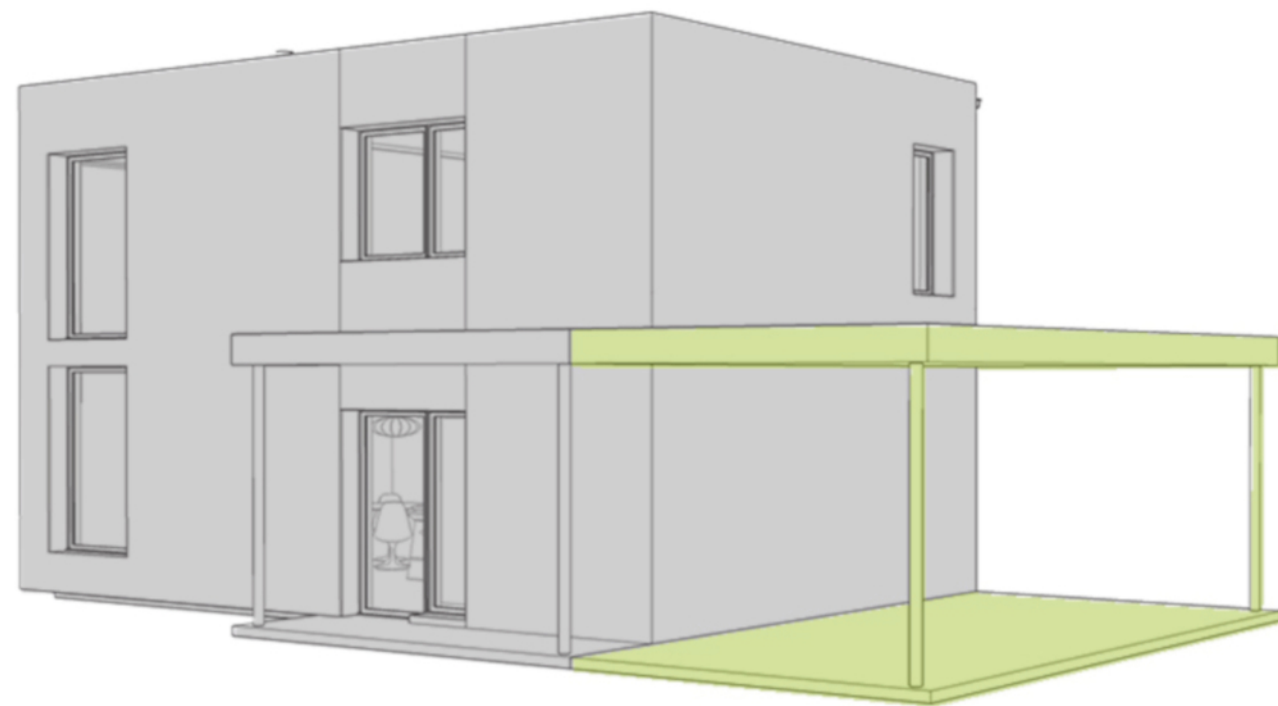


The Artisans Group, Inc.

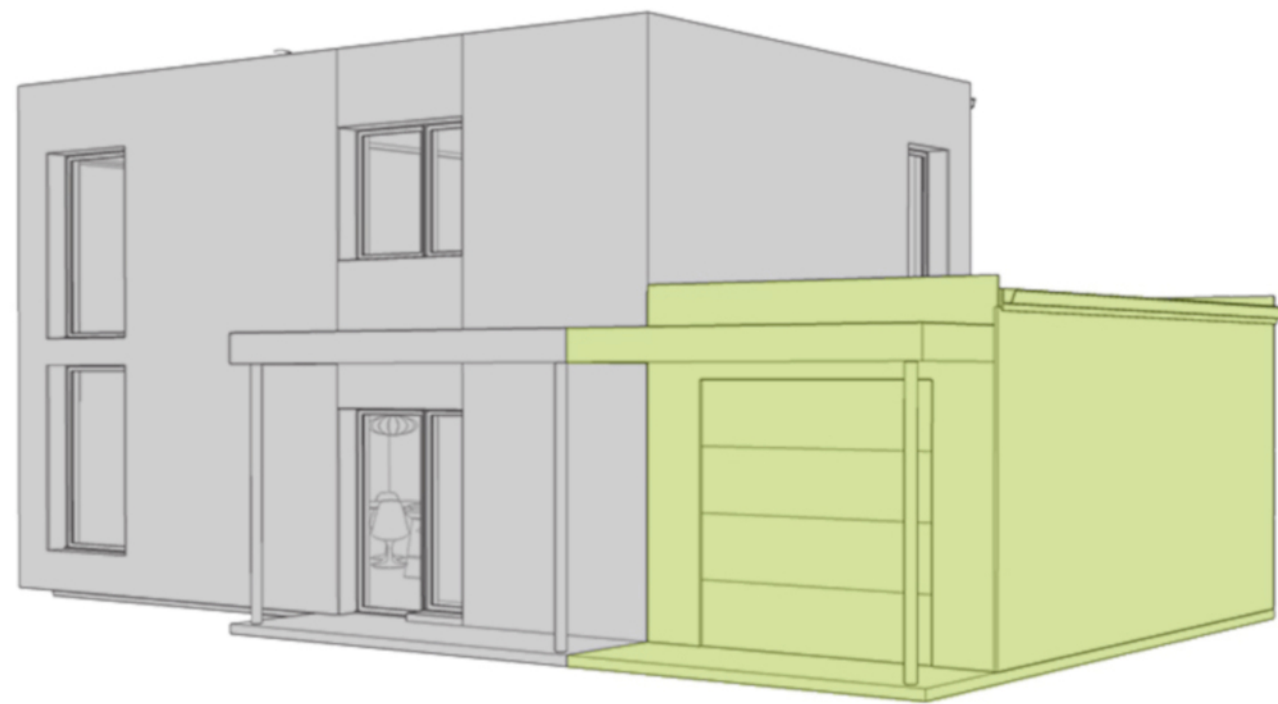
1508 Fourth Avenue East
Olympia, WA 98506
360.570.0626 (p)
360.570.0727 (f)
www.artisansgroup.com

All drawings, details and text contained in these documents are the original and unpublished work of the Artisans Group, Inc. Copyright © 2017





800 SF OPTION W/ CARPORT



800 SF OPTION W/ GARAGE



1,000 SF OPTION